

Home Inspection Report



Inspector Information

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Property Address:

789 New House Drive
Sylvan Lake, AB T4S1R7

Client Information

Your Name
123 Your Street
Sylvan Lake, AB T4S1R7

Phone: 403-887-1212
yourname@email.com
Date of Inspection: 03/15/2007
Time: 1:00 pm

Weather Conditions: Snow patches on the ground with puddles of melting snow. -5 deg cel. Light flurries.

Attendance:

Buyer
Buyer's Agent
Buyers Brother



Site Grounds & Grading

Driveway	Steps To Building	Sidewalks/Walkways	Retaining Walls	Window Wells
General Grading/Drainage	Trees & Shrubs	Grading At House Wall	Patio/Terrace	Deck/Porch
Out Buildings	Fences			

Exterior & Structure

Building Information	Wall Structure	Wall Covering	Exterior Receptacles	Gas Meter & Piping
Exterior Windows	Exterior Doors	Foundation	Trim	Downspouts
Eaves & Soffits	Columns	Chimneys		

Roof Components

Roof Style	Roof Covering	Roof Leaks	Skylights	Gutters & Downspouts
Exposed Flashing				

Plumbing System

Water Service	Fuel Service	Water Entrance	Waste	Fixtures
Water Heater	Pipes	Drain	Vent Pipes	

Electrical

Service Entrance Cable	Service Line Entrance	Main Panel	Sub Panel	Circuits & Conductors
Outlets, Fixtures, & Switches	Smoke Detectors			

Attic

Attic Access	Roof Frame	Vent Pipes & Flashing	Ceiling Frame	Moisture & Mildew
Attic Insulation	Attic Sheathing			

Interior

Information	Floors	Walls	Ceilings	Entry Doors
Other Entry Doors	Interior Door # 1	Interior Door # 2	Interior Door # 3	Interior Door # 4
Stairs / Railings	Windows	Interior Moisture	Interior Fireplace	

IMPORTANT INFORMATION

The client understands that this is only a visual, non invasive review of readily accessible areas. The standards of practice meet those prescribed by the Canadian Association of Home & Property Inspectors (CAHPI), the National Society of Home Inspectors (NHSI) and other trade organizations. No excavation or removal of obstructions is performed. Hidden or obstructed defects may not be observed. In addition, some property components are inspected on a random sampling of like items; electrical outlets, windows, doors, etc. Therefore not every defect may be identified. North Valley Property Inspections does not inspect for compliance with building codes or regulations of any governmental body, entity or agency. The client may wish to obtain other types of inspections, such as environmental inspections or inspections for air quality or mold that are not addressed in the Property Inspection Report.

This report is solely for the benefit of the Client. Any person or party designated by the Client to receive information in this report shall be subject to the TERMS AND CONDITIONS contained herein. Such designation shall be provided in writing to the inspector.

REPORT SUMMARY

Site Grounds and Grading Summary:

Grading at House Wall:

Slope of grade away from structure is inadequate. The grade slopes toward structure. Add fill near the house to slope away approximately 1" per ft. within 6 ft. Keep downspouts extended 5-6 ft. from the house.

Steps to Building:

The stoop has settled near the house creating reverse drainage. We recommend railings on landing & stairs for safety. The area is not properly flashed or caulked. There is evidence of poor drainage. Cracks in concrete or mortar are in need of repair.

Fences

The gate is not operational. The fence is damaged. The fence is showing signs of deterioration/rot. We suggest replacing rotted / loose fence posts. The fencing shows age - continue to monitor.

Deck

Deck has deteriorated severely due to poor drainage which has caused water damage. Rail system is not securely attached. You should consult a licensed contractor about the needed repairs.

Retaining Walls:

The retaining wall at the back of the home has been damaged. The retaining wall is deteriorating. Cracks in the retaining wall could lead to further cracking and erosion.

Electrical Components Summary:

Service Entrance Cable

It appears that the roof anchor for this overhead service has been pulling away from the sheathing and should be examined and possibly re-anchored by a professional.

Main Panel

One of the wires shown in the photo has melted insulation which could indicate an over-fused circuit. This could represent a fire hazard and should be examined by a licensed electrician.

Outlets, Fixtures, and Switches

No power was observed at the receptacle outlet. Electrical wiring is not properly protected. Outlet covers are broken. Reverse polarity of receptacle outlet was observed. Receptacle outlet covers are damaged. Receptacle outlet spacing appears to be inadequate.

Smoke Detectors

Smoke detectors are installed too far from bedrooms. Additional detectors are recommended. A smoke detector is required near bedrooms. Replace detector batteries every 6 months. It is recommended that smoke detectors are replaced every 10 years.

Attic Summary:

Attic Vent Pipes

As the photo shows, there are some leaks at flashing points where an exhaust flue goes through the roof. The stains on the flue are indications of this leak.

Attic Insulation

Insulation has no vapor barrier. We recommend upgrading attic insulation.

Site Grounds & Grading

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. When decks and porches are built close to the ground where no viewing or access is possible, we cannot make accurate opinions. These areas as well as others that are too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in this report. We routinely recommend that inquiry be made with the seller about knowledge of conditions.

Driveway

Type: Concrete

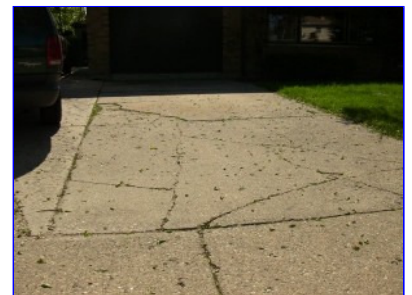
Condition: Needs Maintenance

Problems:

-There are large cracks in the driveway.

Comments:

There are some large cracks that are consistent with the age of the property, but they do not affect the functionality of the driveway. These cracks should be monitored.



Steps To Building

Stair Type: Concrete

Landing: Concrete



Railing: No
Condition: Needs Maintenance

Problems:

-The steps are settling away from the house

Comments:

The stoop has settled near the house creating reverse drainage. We recommend railings on landing & stairs for safety. The area is not properly flashed or caulked. There is evidence of poor drainage. Cracks in concrete or mortar are in need of repair.

Sidewalks/Walkways

Type: Concrete
Condition: Satisfactory

Comments:

Some settlement was observed that is consistent with the age of the property and does not pose a serious problem in the opinion of this inspector.

Retaining Walls

Type: Brick
Location: South Wall
Condition: Needs Maintenance

Problems:

-The retaining wall shows signs of deterioration.

Comments:

The retaining wall at the back of the home has been damaged. The retaining wall is deteriorating. Cracks in the retaining wall could lead to further cracking and erosion.



Window Wells

Type: Metal
Condition: Satisfactory

General Grading/Drainage

Condition: Needs Maintenance

Problems:

-The ground slopes toward the house creating a flooding hazard.
-There are low-lying areas where water can pool.

Comments:

Suggest asking home owner about any yard flooding problems that occur during heavy rains. There are often simple solutions to prevent water from pooling on the property near the house.

Trees & Shrubs

Condition: Needs Maintenance

Problems:

-There are trees growing within 6 feet of the house.
-There are tree branches rubbing against the house.
-There are trees growing too close to power lines.
-There are shrubs growing too close to the foundation.

Comments:

Keep tree branches trimmed away from the roof. Keep tree branches trimmed away from the siding. Shrubbery is contacting structure. Keep shrubs trimmed away from the siding. We suggest that broken tree limbs be removed.



Grading At House Wall

Condition: Needs Maintenance

Problems:

- The ground slopes toward the house creating a flooding hazard.
- There are low-lying areas where water can pool.
- Water runs off the roof and pools near the foundation.

Comments:

Slope of grade away from structure is inadequate. The grade slopes toward structure. Add fill near the house to slope away approximately 1" per ft. within 6 ft. Keep downspouts extended 5-6 ft. from the house.



Patio/Terrace

Condition: Satisfactory

Type: Concrete

Location: South

Deck/Porch

Condition: Needs Maintenance

Type: Wood

Construction: Nailed to House

Deck: On Grade

Railing: Yes

Problems:

- There is evidence of deterioration where the deck comes in contact with the ground.
- There is evidence of rot on the surfaces of untreated wood.
- There is cracking/deterioration on the deck floor or railings.
- There is separation or sagging due to deterioration.
- There is flashing missing between the deck and the house.

Comments:

Deck has deteriorated severely due to poor drainage which has caused water damage. Rail system is not securely attached. You should consult a licensed contractor about the needed repairs.



Out Buildings

Condition:

Out Building: None Observed

Fences

Condition: Needs Maintenance

Type: Wood

Problems:

- The fences/gates are rotting or deteriorating.
- The gates are sagging or falling off the hinges.
- There are untreated wooden fence posts buried directly in the ground.
- The gate has settled making it impossible to properly latch the gate.
- There are missing, loose, or broken sections of fence.

Comments:

The gate is not operational. The fence is damaged. The fence is showing signs of deterioration/rot. We suggest replacing rotted / loose fence posts. The fencing shows age - continue to monitor.

Exterior & Structure

Our inspection of the Exterior grounds includes the surface drainage, grading, some fencing, gates, sidewalks,

patios, driveways, and retaining walls adjacent to the structure. The inspection of the exterior of the building includes the cladding, trim, eaves, fascias, decks, porches, downspouts, railings, doors, windows and flashings. Areas hidden from view by finished walls or stored items cannot be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks present along with rotation, we routinely recommend further evaluation be made by a qualified professional structural engineer. The grading of the soil should allow for surface and roof water to flow away from the foundation. All concrete slabs experience some degree of cracking due to shrinkage in the drying process or minor settlement. All items listed are inspected for their proper function, poor installation, excessive wear and general state of repair. Where deck carpeting, stacked firewood, excessive vegetation, soil and other coverings are installed over decking and patio surfaces, the materials or their nature of construction and condition of the underneath these coverings cannot be determined.

Building Information

Year Constructed: 1964

Type: Single

Wall Structure

Condition: Satisfactory

Type: Wood Frame

Wall Covering

Condition: Satisfactory

Type: Brick, Vinyl

Problems:

-There are no weep holes in the bottom of brick veneers.

Comments:

Recommend adding weep holes to the bottom course of bricks to allow possible trapped water to drain out from wall cavity.



Exterior Receptacles

Condition: Needs Maintenance

Type: Non-GFCI

Problems:

-There are exterior outlets being exposed to the weather without a weather plate.

Comments:

All exterior outlets should be GFI protected. All exterior outlets need weatherproof covers.

Gas Meter & Piping

Condition: Professional Consultation

Comments:

The gas meter is right next to the driveway where it could be damaged by a vehicle. A gas meter in such a location should be moved or protected against impact.

Exterior Windows

Condition: Needs Maintenance

Problems:

-There are gaps or openings around the window(s) that need to be caulked.
-There are cracked, broken, or missing windows.

Comments:

This component is in need of minor repair. Windows are not properly caulked. Over time all caulking compounds will deteriorate and require maintenance.



Exterior Doors

Condition: Satisfactory

Type: Wood

Foundation

Condition: Satisfactory

Type: Concrete

Comments:

A portion of the exterior foundation was hidden by plant growth and other obstructions that prevented it from being readily accessible. What could be observed was satisfactory.

Trim

Condition: Satisfactory

Type: Vinyl

Downspouts

Condition: Needs Maintenance

Problems:

- The downspouts cause water to pool and run toward the house.
- There are spots where downspouts are missing resulting in deterioration to the house.
- There are downspouts missing from the building.

Comments:

Downspout does not divert water away from foundation properly. There are downspouts that need to be extended. Keep downspouts extended 5' - 6' from the building. Gutters and downspouts need to be added.



Eaves & Soffits

Condition: Needs Maintenance

Comments:

Some of the soffit vents appear to be blocked or covered. It is important to have adequate soffit vents for proper attic ventilation.

Columns

Condition: Satisfactory

Type: Steel

Comments:

Columns are located in basement to support spans.

Chimney(s)

Condition: Needs Maintenance

Type: Metal

Location: East Side

Comments:

Rusting was observed on chimney cap. Chimney flashing is improperly installed. You should consult a licensed contractor about the needed repairs.



Roofing Components

The inspection of the roof system includes a visual examination of the surface materials, connections,

penetrations and roof drainage systems. We examine the roofing material for damage and deterioration. We examine the roof system for possible leaks, damage and conditions that suggest limited remaining service life. We may offer opinions concerning repair and/or replacement if warranted. Opinions stated herein concerning the roofing material are based on the general condition of the roof system as evidence by our visual inspection. These do not constitute a warranty that the roof is or will remain, free of leaks. All roofing systems require annual maintenance. Failure to perform routine maintenance will usually result in leaks and accelerated deterioration of the roof covering and flashings. When provided, our estimates of the roof's life expectancy are based on the assumption that the roof will be properly maintained during that period. The only way to determine whether a roof is absolutely watertight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection and we cannot confirm this condition. We suggest that an annual inspection of the Attic area be performed where accessible to identify if any leaks are evident.

Roof Style

Type: Gable
Viewed from: Ladder

Comments:

The roof was inspected from the top of a ladder. The view of some areas of the roof was obstructed by exhaust flues, vent pipes, and the roof structure and pitch.

Roof Covering

Shingles: Asphalt
Layers: 3 Layers
Approximate Age: years
Condition: Professional Consultation

Problems:

- There are gaps between the shingles.
- There are more than 2 layers of shingles.
- The shingle tabs are clawing or curling up at the edges.
- The shingle tabs are loose and can be lifted.
- The shingles are brittle.
- There are sagging, uneven, or damaged sections of roof covering.



Roof Leaks

Leaks: Some
Viewed: Ladder

Problems:

- The roof has weather-worn flashing.
- There is discoloration, rot, mold, or mildew on the roof framing.

Comments:

There are some sunken areas where it is apparent that the shingles have failed and water is penetrating onto the sheathing. In such cases some of the sheathing may need to be replaced when the shingles are replaced. Further water damage could be occurring within the walls or ceilings as the result of water intrusion.



Gutters & Downspouts

Type: Aluminum
Condition: Needs Maintenance
Extensions: Has Extensions

Problems:

- The gutters are clogged with debris from overhanging trees.
- The gutter/downspout connections are bad.
- There are missing sections of gutters/downspouts.

Comments:

There are down spouts that need to be extended. Downspout does not divert water away from foundation properly. Damage or failure was observed.



Skylights

Condition:

Exposed Flashing

Type: Rubber

Condition: Needs Maintenance

Problems:

- The flashing is not properly installed.
- There are vents flashed with roofing cement.
- There is evidence of seepage from flashed areas.

Comments:

Leaking observed at the chimney flue. Amateur patch job done with roof cement. Flashing at faux chimney cover is flush over shingles and needs replaced.



Plumbing Systems

Our Inspection of the plumbing system includes a visual examination of the exposed portions of the domestic water supply, drain waste, vent, gas lines, faucets, fixtures, valves, drains, traps, exposed pipes and fittings. These items are examined for proper function, excessive or unusual wear, leakage and general state of repair. The hidden nature of piping prevents inspection of every pipe and joint connection, especially in walls, floors and ceiling voids. A sewer lateral test is necessary to determine the condition of the underground sewer lines. This type of test is beyond the scope of this inspection. Our review of the plumbing system does not include landscape irrigation systems, water wells, on site and/or private water supply systems, off site community water supply systems, or private (septic) waste disposal systems unless specifically noted. A qualified specialist prior to the closing of escrow can perform review of these systems. Our inspection of the water heater includes a visual examination of the accessible portions of the tank, gas, electrical and/or water connections, venting and safety valves. These items are examined for proper function, excessive or unusual wear, leakage and general state of repair.

Water Service

Type: Private

Condition: Satisfactory

Comments:

Northeast utility closet in basement

Fuel Service

Condition: Professional Consultation

Type: Gas Meter

Meter Location: See Problem List

Shutoff Valve Location: East corner near drive

Comments:

This gas meter is located between the driveway and a path where vehicles can be driven or parked which presents a safety hazard. Recommend protecting this location against any impacts.



Water Entrance

Type: Copper

Size: 1 inch

Comments:

The entrance is copper, but much of the house uses galvanized pipe which has a useful life span limited to around 20 years.

Waste

Condition: Needs Maintenance
Type: Public
Pipes: Plastic, Cast Iron

Comments:

Cast iron part of system appears to have a small amount of seepage at the joint as shown in the photo. Old cast iron pipes rust from the inside out and will eventually need to be replaced.



Fixtures

Condition: Needs Maintenance

Problems:

-There is corrosion on the pipes or valves.

Comments:

The pipes beneath the bathroom and kitchen sinks are galvanized steel. Corrosion and indications of slow leaks were detected. Galvanized steel rusts from the inside out which can inhibit water pressure. Suggest budgeting for upgraded plumbing.



Water Heater

Condition: Satisfactory
Fuel Type: Gas
Location: kitchen utility room
Capacity: 60
Extension: Present
Relief Valve: Present
Seismic Restraint: Not Applicable
Gas Shutoff: Present
Venting (Air Supply): Not Present
Expansion Tank (Gas): Not Applicable

Pipes

Condition: Needs Maintenance
Material: Copper, Galvanized
Flow Rate: Satisfactory

Problems:

- The pipes are showing signs of deterioration.
- There are signs of leakages from the pipes.
- There are signs of seepage from the pipes.
- There are signs of rust/corrosion on the pipes.

Comments:

This house has partially updated plumbing, but still has galvanized pipes beneath the sinks. The amount of corrosion and slow seepage of water leaks indicates that the pipes are near the end of their useful life and will eventually need to be replaced. While the leaks were not severe, even a very slow leak can cause damage to the structure over time.

Drains

Condition: Satisfactory
Type: Plastic, Cast Iron

Vent Pipes

Condition: Satisfactory
Type: Cast Iron

Electrical Systems & Components

Our examination of the electrical system includes a visual examination of the exposed and accessible branch circuits, wiring, service panel, over current protection devices, lighting fixtures, switches, and receptacles. Service equipment, proper grounding, wiring methods and bonding are focal points. We inspect for adverse conditions such as lack of grounding and bonding, over-fusing, exposed wiring, open-air wire splices, reverse polarity and defective GFCI's. The hidden nature of the electrical wiring prevents inspection of every length of wire or their connections. Telephone, video, cable, audio, security systems and other low voltage systems were not included in this inspection unless specifically noted. We recommend you have the seller or a specialist demonstrate the serviceability or locations of these systems to you if necessary. Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke Alarms should be installed within 15 feet of all Bedroom doors and in Bedrooms. These units should be tested monthly.

Service Entrance Cable

Capacity: 200 Amps
Location: Basement - North Wall
Volts: 240-120 Volts
Condition: Needs Maintenance

Problems:

-The service entrance cable is improperly anchored to the wall.

Comments:

It appears that the roof anchor for this overhead service has been pulling away from the sheathing and should be examined and possibly re-anchored by a professional.



Service Line Entrance

Type: Overhead
Condition: Satisfactory
Conductor: Copper
Main Disconnect Location: Basement
Wiring: Conductors in Conduit

Main Panel

Condition: Professional Consultation
Volts: 240-120v
Capacity: 200A
Type of Overload Protection: Circuit Breakers
Bonding: Bonded
Grounding: Grounded
Location: Basement - Street Side

Problems:

-There is evidence of circuit breakers failing / overloading.

Comments:

One of the wires shown in the photo has melted insulation which could indicate an over-fused circuit. This could represent a fire hazard and should be examined by an licensed electrician.



Sub Panel

Condition: Satisfactory
Volts: 240-120v
Capacity: 60A
Location: Garage

Circuits & Conductors

Condition: Needs Maintenance
Type of Wiring: Romex

Outlets	Number	GFCI
Exterior	2	No
Garage	3	No
Kitchen	2	No
Bathroom	2	Yes

Comments:

Recommend GFCI's in all kitchens, garages, bathrooms, and exteriors.

Outlets, Fixtures, & Switches

Number Tested: Representative Number
Method of Testing: Plug Tester
Condition: Needs Maintenance
Outlet Testing:
Reverse Polarity: Yes
Non-GFCI: Yes
Ungrounded: Yes
Voltage Drop: No

Problems:

- There are missing or broken faceplates.
- There are rooms that do not have a light/outlet operated by a switch.

Comments:

No power was observed at the receptacle outlet. Electrical wiring is not properly protected. Outlet covers are broken. Reverse polarity of receptacle outlet was observed. Receptacle outlet covers are damaged. Receptacle outlet spacing appears to be inadequate.

Smoke Detectors

Condition: Not Satisfactory
Smoke Detectors: Tested

Problems:

- There are bedrooms without nearby smoke detectors.

Comments:

Smoke detectors are installed too far from bedrooms. Additional detectors are recommended. A smoke detector is required near bedrooms. Replace detector batteries every 6 months. It is recommended that smoke detectors are replaced every 10 years.

Attic

Our inspection of the Attic includes a visual examination of the roof framing, plumbing, electrical, and mechanical systems. There are often heating ducts, bathroom vent ducts, electrical wiring, chimneys and appliance vents in the Attic. We examined these systems and components for proper function, unusual wear and general state of repair, leakage, venting and unusual or improper improvements. When low clearances and deep insulation prohibits walking in an unfinished Attic, inspection will be from the access opening only. Vaulted ceilings cannot be inspected.

Attic Access

Access Type: Scuttle Hole
Attic Access Location: Bedroom Closet - Upper Level

Comments:

The inspector was able to view about 75 percent of the attic space from the top of a step ladder at the service hatch. No walk boards were provided. Complete attic views are obstructed by framing members, insulation, attic equipment, and stored items.

Roof Frame

Condition: Satisfactory

Type: Truss

Vent Pipes & Flashing

Condition: Needs Maintenance

Leaks Observed: Visible Leaks

Problems:

-There are vents that leak or function improperly.

Comments:

As the photo shows, there are some leaks at flashing points where an exhaust flue goes through the roof. The stains on the flue are indications of this leak.

**Ceiling Frame**

Condition: Needs Maintenance

Type of Framing: Joist Framing

Problems:

-There is moisture damage to the ceiling frame.

Comments:

The roof leak has caused some limited damage to the ceiling frame.

Moisture & Mildew

Condition: Needs Maintenance

Type: Some Condensation

Comments:

Darkened areas where water is penetrating roof surface at failed shingles (see Roof Covering notes).

Attic Insulation

Condition: Needs Maintenance

Type: Poured

Location: In Floor

Average Depth (Inches): 4

Comments:

Insulation has no vapor barrier. We recommend upgrading attic insulation.

Attic Sheathing

Observed: Observed

Condition: Needs Maintenance

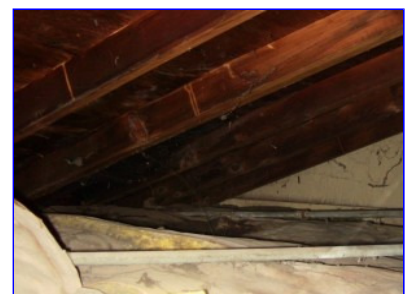
Problems:

-There are signs of leakages on the sheathing.

-There are signs of water damage to the sheathing.

Comments:

Dark areas indicative of water penetration on SE area of sheathing below area of suspected shingle failure. There were minimal shiners (nails through the sheathing that missed the roof truss framing.)



Interior Components

Our inspection of the Interior includes a visual inspection of the readily accessible portions of the walls, ceilings, floors, doors, cabinetry, countertops, steps, stairways, balconies and railings. Please note that a representative sample of the accessible windows and electrical receptacles are inspected. These features are examined for proper function, excessive wear and general state of repair. In some cases, all or portions of these components may not be visible because of furnishings and personal items. In these cases some of the items may not be inspected. The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors under rlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage.

General Information

Number of Bathrooms: 4
Number of Bedrooms: 2

Floors

Condition: Satisfactory
Type of floor: Carpet

Walls

Condition: Needs Maintenance
Type: Drywall

Problems:

-There are cracks/holes in the wall.

Comments:

The photo illustrates a crack in the kitchen wall near the ceiling which could indicate uneven settlement in one area of the house.



Ceilings

Condition: Satisfactory
Type: Drywall

Entry Doors

Condition: Satisfactory
Material: Wood
Insulation: Insulated

Other Entry Doors

Condition: Satisfactory
Type of Door: Sliding Glass
Insulation: Insulated

Interior Doors (door # 1)

Location: Dining room, Closets, Main Level
Condition: Satisfactory

Interior Doors (door # 2)

Location: Upstairs Bedrooms
Condition: Satisfactory

Interior Doors (door # 3)

Location: All Bathroom Doors
Condition: Satisfactory

Interior Doors (door # 4)

Location: Lower Level Den
Condition: Needs Maintenance

Comments:

This door does not close properly and may be out of square..

Stairs / Railings

Condition: Needs Maintenance

Comments:

The handrail is loose. The handrail bracket is loose. This can constitute a safety hazard.

Windows

Condition: Needs Maintenance
Type: Double Hung
Material: Wood
Glass:
Storm Windows: Yes



Problems:

- The windows insulate poorly.
- There are windows stuck or painted shut.
- There are bedrooms without properly functioning egress windows.

Comments:

Some window sashes do not operate properly. Window weather stripping is damaged or defective. Fire egress for the window is inadequate.

Moisture and Mildew

Condition: Satisfactory
Degree of Damage: None

Fireplace

Condition: Needs Maintenance
Type: Masonry
Operational: Yes

Problems:

- The chimney needs cleaning.

Comments:

The flue is in apparent need of cleaning. Combustibles are too close to the fireplace opening.



Thank You!

Thank you for choosing North Valley Property Inspections to perform your Property Inspection. We trust the experience was both useful and enjoyable.

Please feel free to contact us with questions about the report or the property itself any time. Our consulting service via telephone is available at no cost to you for as long as you own the property.

Remember to visit our Resource Center at www.nvpi.ca. Our Resource Center is your source for valuable information on buying, selling, and owning a home or investment property.

Thanks again for allowing us to work with you, and best wishes to you and your family.

Sincerely,

Howard Gray - Owner/Inspector
North Valley Property Inspections